

# 4-PLEX RU1

## PROJECT INFO:

652 BERK COURT  
 Legal Description:  
 PID: 028-949-331  
 Plan: EPP5534  
 Lot: 1  
 Zone: RU1

## LIST OF DRAWINGS:

SHEET INDEX:	DESCRIPTION:
1	COVER SHEET, SITE PLAN, STREETSCAPE
2	MAIN FLOOR PLAN
3	MIDDLE FLOOR PLAN
4	UPPER FLOOR PLAN
5	ELEVATIONS
6	ELEVATIONS

## ZONING COMPLIANCE SUMMARY

MUNICIPALITY:	CITY OF KELOWNA
CIVIC ADDRESS:	652 BERK COURT
LOT AREA:	588.46 m <sup>2</sup>
ZONE:	RU1

DEVELOPMENT REGULATIONS	REQUIRED	PROPOSED
BUILDING LOT COVERAGE	55%	38.5%
SITE COVERAGE INCL. NON-PERMEABLE SURFACES	70%	68.0%

SETBACK REGULATIONS	REQUIRED	PROPOSED
FRONT	3.0 m	3.076 m
LEFT	2.1 m	3.610 m
REAR	3.0 m	3.147 m
RIGHT	2.1 m	2.957 m

BUILDING HEIGHT REQUIREMENTS	REQUIRED	PROPOSED
MAXIMUM HEIGHT	11 m	9.439 m

OFF STREET PARKING REQUIREMENTS	REQUIRED	PROPOSED
(4) 4 BEDROOM UNITS	(5) STALLS 2.5 m x 6.0 m	(5) STALLS 2.5 m x 6.0 m
TOTAL PARKING STALLS	5	5



STREETSCAPE VIEW



PERSPECTIVE VIEW

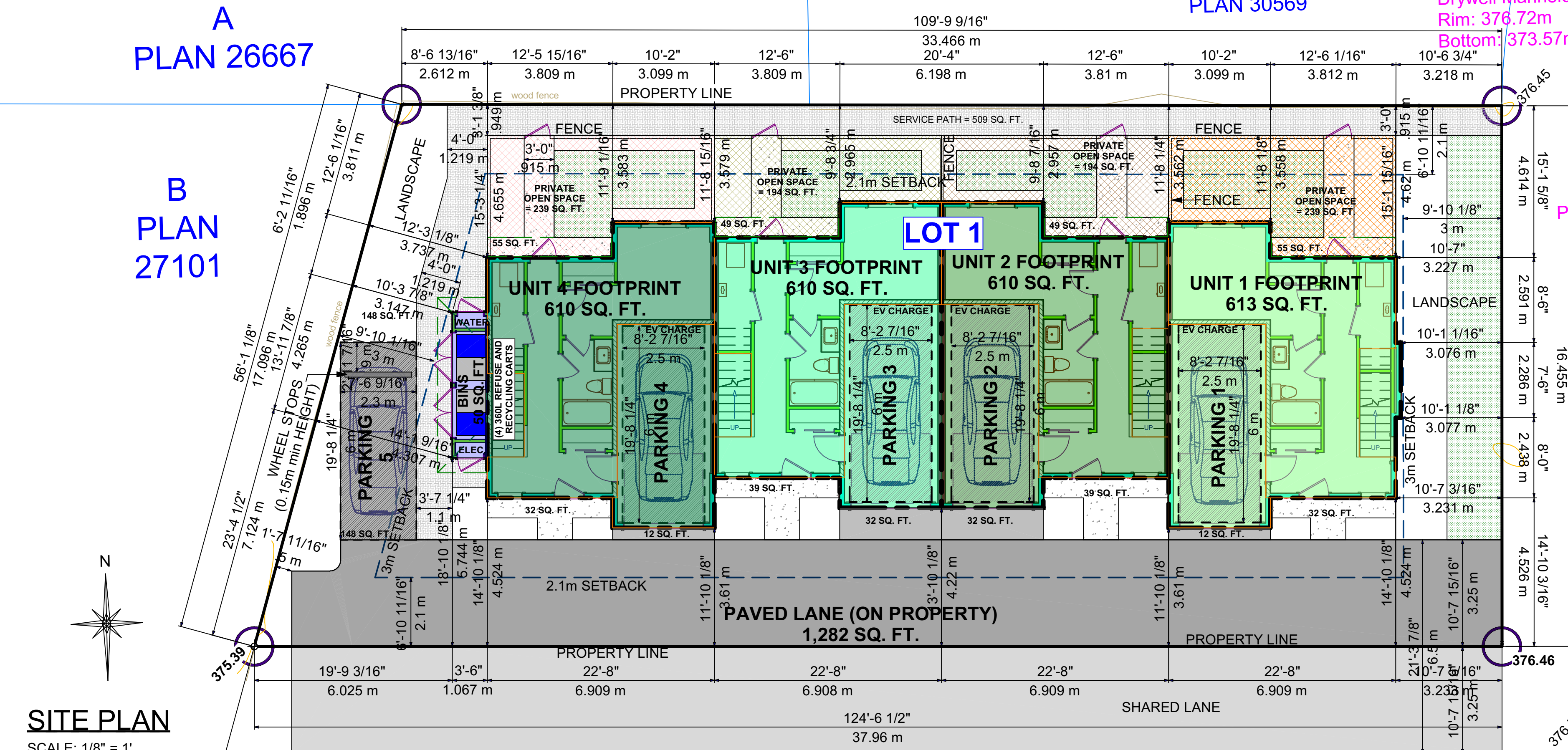


SITE CONTOUR  
 SCALE: 1/8" = 1'



## GENERAL NOTES

- ALL CONSTRUCTION AND BUILDING TO BE IN ACCORDANCE TO THE LATEST BRITISH COLUMBIA BUILDING CODE (2024).
- CONSTRUCTION TO COMMENCE IN ACCORDANCE TO ALL LOCAL BYLAWS.
- DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS ARE TO WALL CENTERLINES AND EXTERIOR OF SHEATHING.
- CONTRACTORS ARE TO REVIEW ALL DRAWINGS AND REPORT ANY DISCREPANCIES AND ERRORS PRIOR TO CONSTRUCTION.
- PRIOR TO PROCEEDING WITH CONSTRUCTION THE OWNER/BUILDER IS TO ENSURE ALL REQUIRED INSURANCES AND WORKSAFE BC CONFORMANCE ARE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF ALL TRADES TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE COMMENCING CONSTRUCTION.
- LICENSED AND INSURED PROFESSIONALS MUST VERIFY ALL INFORMATION, DIMENSIONS, SPECIFICATIONS OF THIS PLAN PRIOR TO CONSTRUCTION.
- ERRORS AND OMISSIONS. ZIOLA DESIGN & BRENT ZIOLA SHALL NOT BE RESPONSIBLE FOR ANY VARIATIONS OR ADJUSTMENTS RESULTING IN CONDITIONS ENCOUNTERED AT THE JOB SITE, AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR. EVERY EFFORT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE DRAWINGS. ZIOLA DESIGN OR ITS TECHNICIANS CAN NOT ELIMINATE THE POSSIBILITY OF HUMAN ERROR, THEREFORE DRAFTING TECHNICIANS, OR ZIOLA DESIGN, OR BRENT ZIOLA SHALL NOT BE LIABLE FOR ANY ERRORS OR OMISSIONS.



SITE PLAN  
 SCALE: 1/8" = 1'

LOT COVERAGE @ 38.5%  
 SITE COVERAGE @ 68.0%

BUILDING FOOTPRINT AREA =  
 2,443 SQ. FT. (226.9m<sup>2</sup>)

LOT AREA = 6,334.13 SQ. FT.  
 (AS PER SURVEY)

**\*\* NOTE \*\***  
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## MENETHIL GROUP

CONTACT:  
 SEAN PAXMAN  
 (236) 998-8111

## 652 BERK CT. KELOWNA, BC

PROJECT TITLE

TITLE  
 SITE PLAN

SCALE  
 1/8" = 1'-0"

DATE  
 OCT-30-2024

PROJECT NUMBER  
 Z-154-09

DRAWING NUMBER  
 2.1

SHEET

1 of 6



**4 BEDROOM UNITS**

16 BEDROOMS TOTAL

ALL UNITS  
TOTAL FLOOR AREA:  
5,516 SQ. FT.

**WALL LEGEND**

W1	8" CONC. FOUNDATION WALL
W2	10" CONC. FOUNDATION WALL
W3	2x6" BEARING WALL
W4	2x6" BEARING WALL INTERIOR
W5	2x6" WALL W/ DRYWALL
W6	2x4" BEARING WALL INTERIOR
W7	2x4" WALL W/ DRYWALL
W8	2x4" HALF-WALL (42" HIGH)
W9	DOUBLE 2x4" PARTY WALL

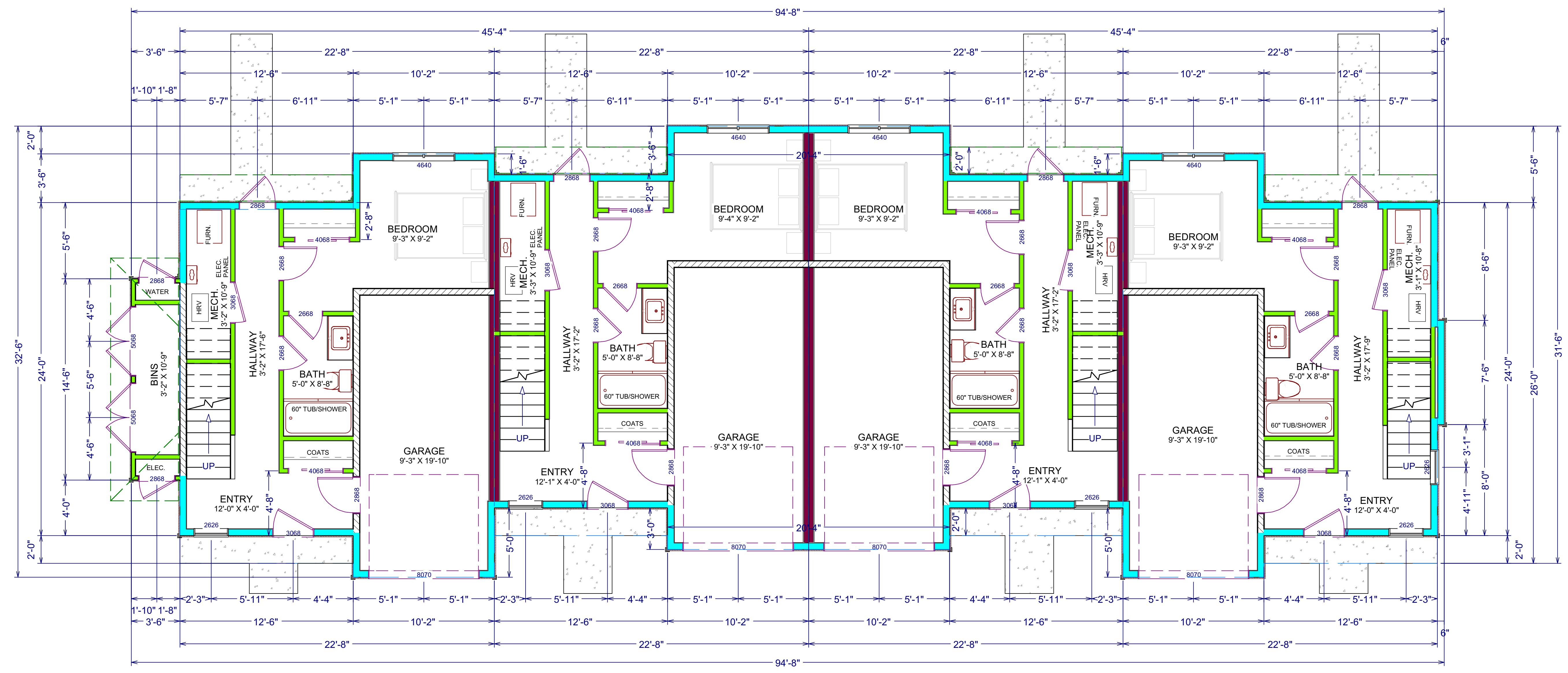


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**652 BERK CT.  
KELOWNA, BC**



UNIT 4	UNIT 3	UNIT 2	UNIT 1
AREA: 380 SQ. FT.	AREA: 380 SQ. FT.	AREA: 380 SQ. FT.	AREA: 380 SQ. FT.
GARAGE AREA: 198 SQ. FT.	GARAGE AREA: 198 SQ. FT.	GARAGE AREA: 198 SQ. FT.	GARAGE AREA: 198 SQ. FT.
*EXCLUDES STAIRS*	*EXCLUDES STAIRS*	*EXCLUDES STAIRS*	*EXCLUDES STAIRS*
TOTAL FLOOR AREA: 1,379 SQ. FT.	TOTAL FLOOR AREA: 1,379 SQ. FT.	TOTAL FLOOR AREA: 1,379 SQ. FT.	TOTAL FLOOR AREA: 1,379 SQ. FT.

**TOTAL BUILDING FLOOR AREA = 5,516 SQ. FT.**

PROJECT TITLE

TITLE  
**GROUND FLOOR**

SCALE  
3/16" = 1'-0"

DATE  
OCT-30-2024

PROJECT NUMBER	DRAWING NUMBER
Z-154-09	2.1

SHEET

**2** OF **6**

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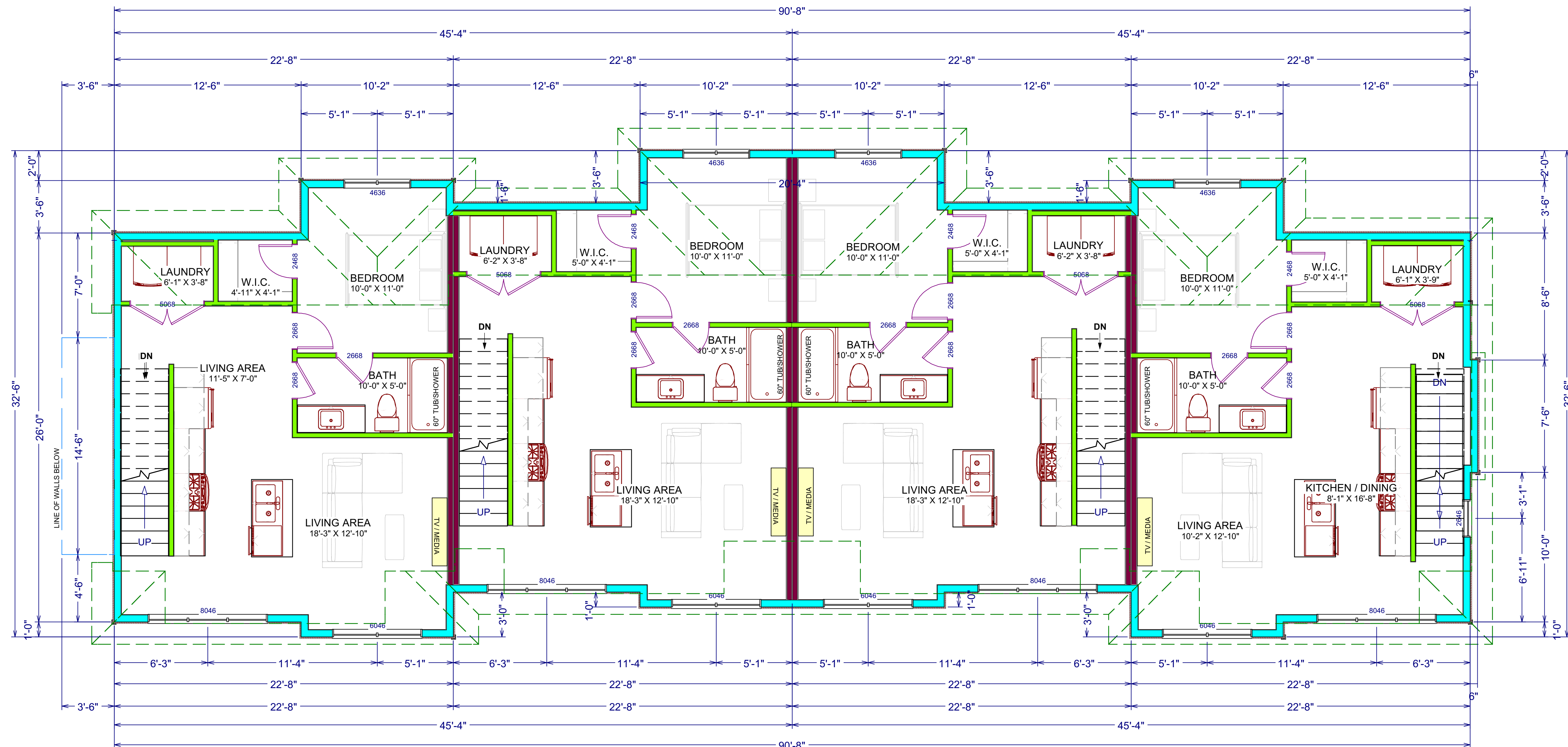
**MENETHIL GROUP**

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 KELOWNA, BC**

**WALL LEGEND**

W1	8" CONC. FOUNDATION WALL
W2	10" CONC. FOUNDATION WALL
W3	2x6" BEARING WALL
W4	2x6" BEARING WALL INTERIOR
W5	2x6" WALL W/ DRYWALL
W6	2x4" BEARING WALL INTERIOR
W7	2x4" WALL W/ DRYWALL
W8	2x4" HALF-WALL (42" HIGH)
W9	DOUBLE 2x4" PARTY WALL



**UNIT 4**  
 AREA: 590 SQ. FT.  
 \*EXCLUDES STAIRS\*

**UNIT 3**  
 AREA: 590 SQ. FT.  
 \*EXCLUDES STAIRS\*

**UNIT 2**  
 AREA: 590 SQ. FT.  
 \*EXCLUDES STAIRS\*

**UNIT 1**  
 AREA: 590 SQ. FT.  
 \*EXCLUDES STAIRS\*

PROJECT TITLE

TITLE  
 MIDDLE FLOOR

SCALE

DATE  
 OCT-30-2024

PROJECT NUMBER	DRAWING NUMBER
Z-154-09	2.1

SHEET

**3** OF **6**

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 KELOWNA, BC**

PROJECT TITLE

TITLE  
**UPPER FLOOR**

SCALE

DATE  
**OCT-30-2024**

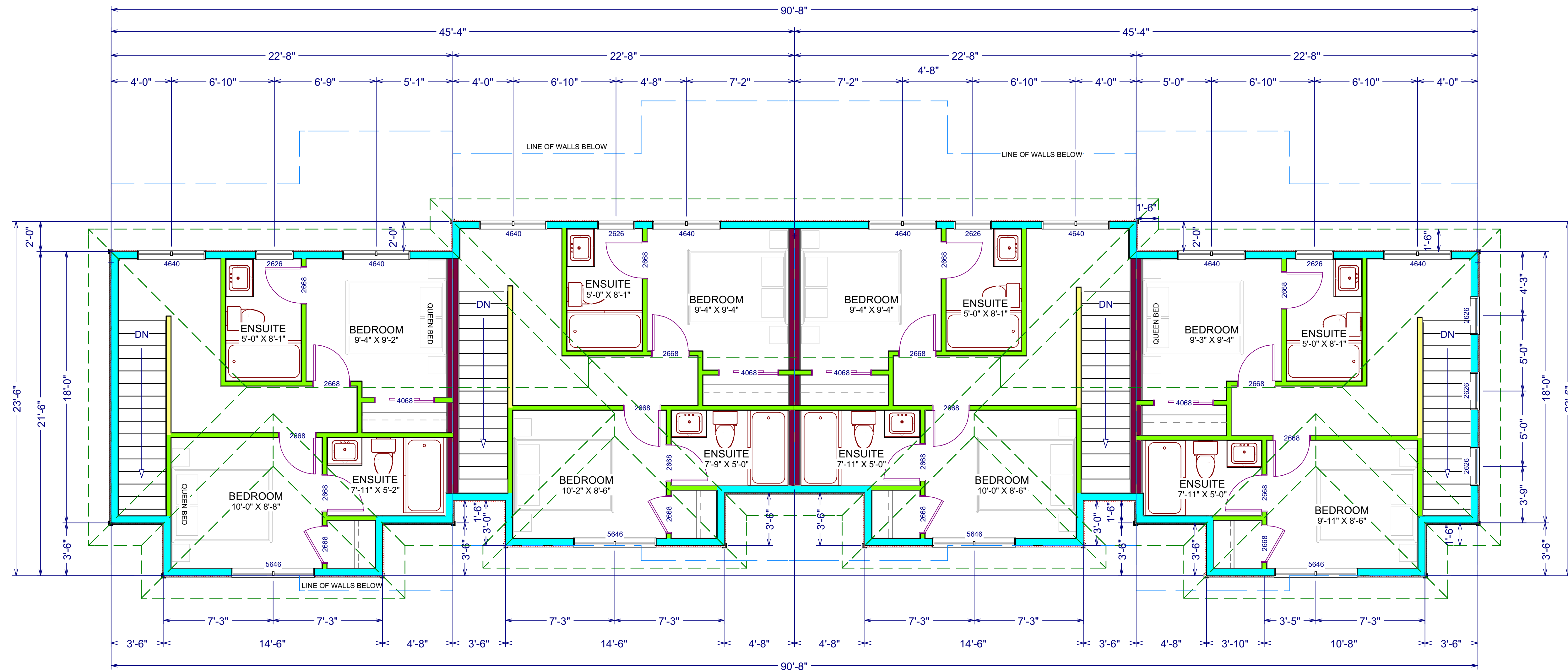
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Z-154-09	2.1

SHEET

**4** OF **6**

**WALL LEGEND**

W1	8" CONC. FOUNDATION WALL
W2	10" CONC. FOUNDATION WALL
W3	2x6" BEARING WALL
W4	2x6" BEARING WALL INTERIOR
W5	2x6" WALL W/ DRYWALL
W6	2x4" BEARING WALL INTERIOR
W7	2x4" WALL W/ DRYWALL
W8	2x4" HALF-WALL (42" HIGH)
W9	DOUBLE 2x4" PARTY WALL



**UNIT 4**  
 AREA: 409 SQ. FT.  
 \*EXCLUDES STAIRS\*

**UNIT 3**  
 AREA: 409 SQ. FT.  
 \*EXCLUDES STAIRS\*

**UNIT 2**  
 AREA: 409 SQ. FT.  
 \*EXCLUDES STAIRS\*

**UNIT 1**  
 AREA: 409 SQ. FT.  
 \*EXCLUDES STAIRS\*

MIDDLE FLOOR AREA = 2,360 SQ. FT.  
 UPPER FLOOR AREA = 1,636 SQ. FT.  
 UPPER FLOOR RATIO = 69.3%

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PROJECT TITLE

TITLE  
 ELEVATIONS

SCALE

DATE  
 OCT-30-2024

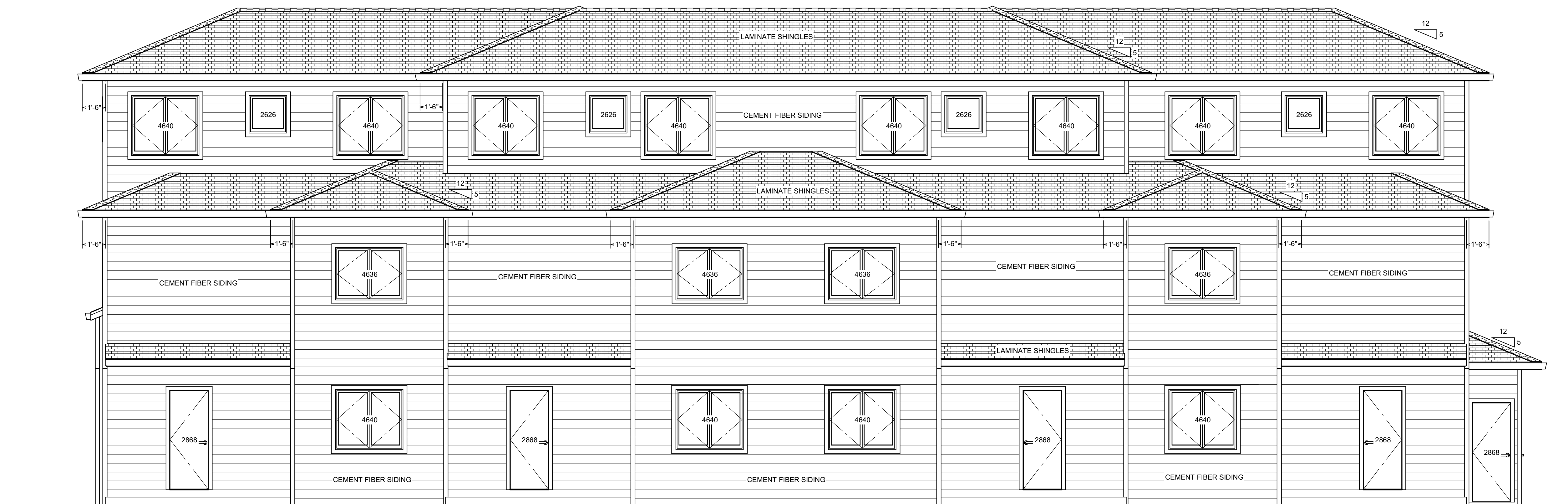
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Z-154-09	2.1

SHEET

**5** OF **6**



**FRONT ELEVATION**



**REAR ELEVATION**

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**ELEVATIONS**

SCALE

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**OCT-30-2024**

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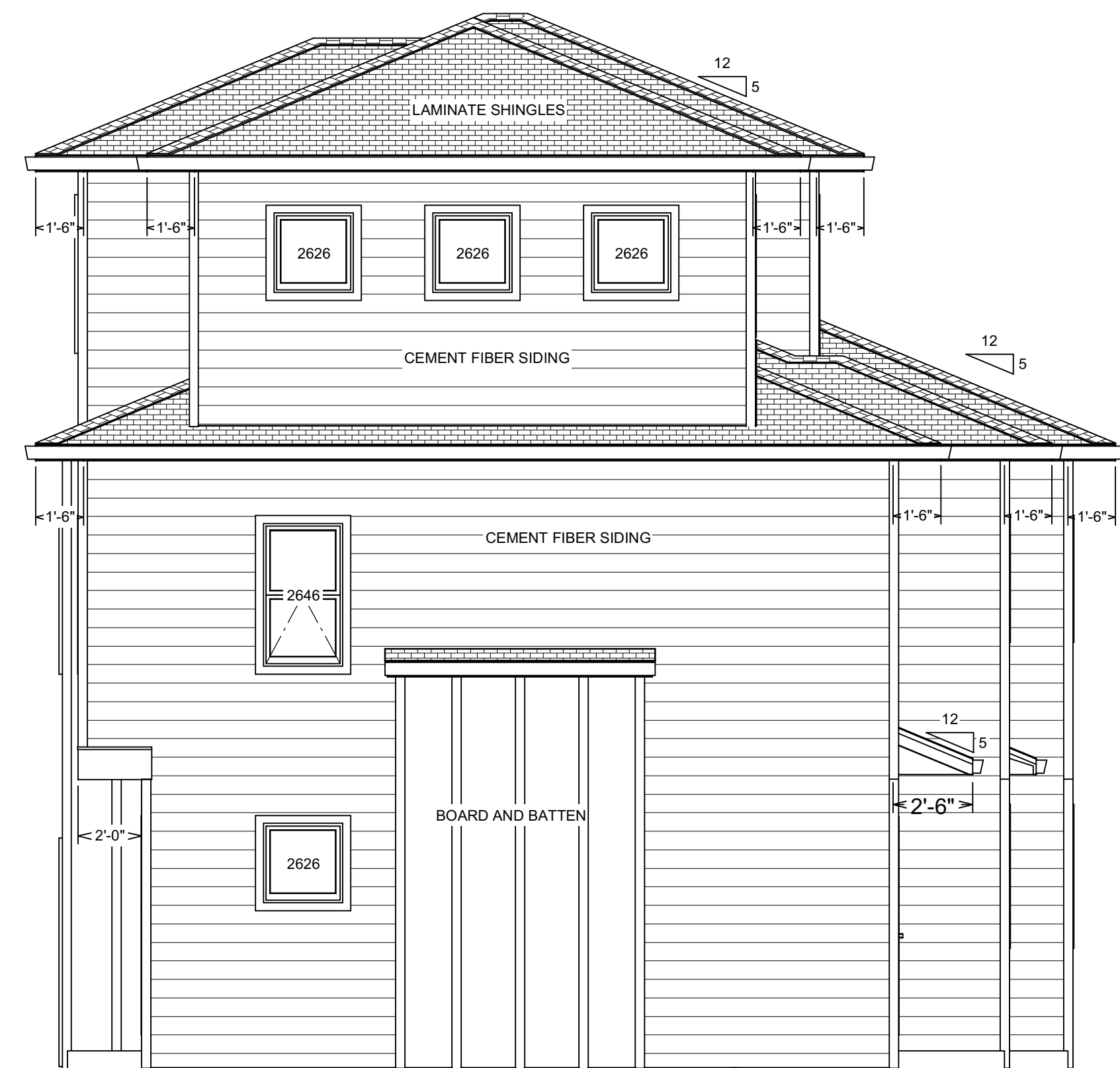
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**6** OF **6**

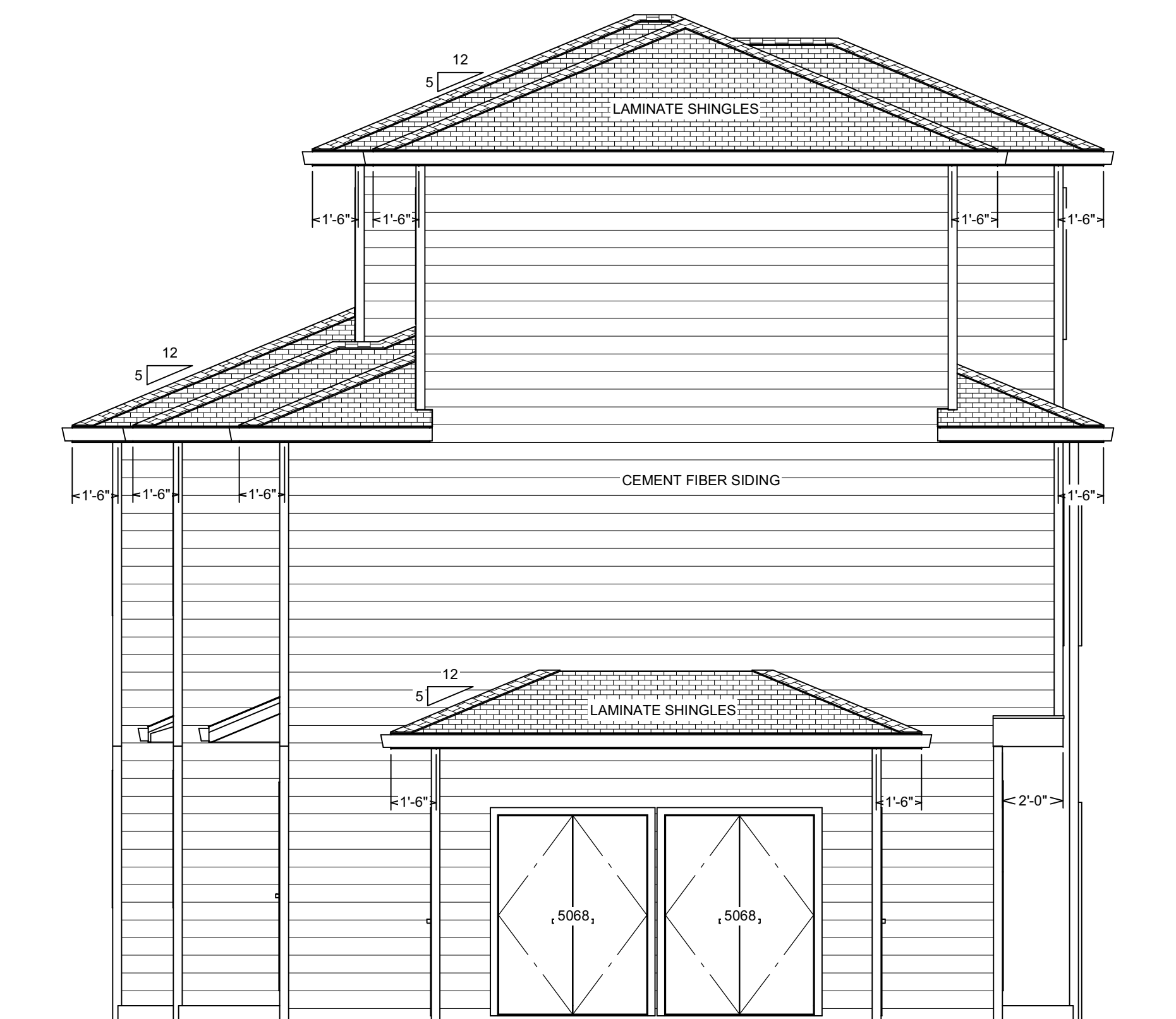


**MATERIAL BOARD**

1. BOARD AND BATTEN	COLOUR: ONYX (BLACK)		5. ALUMINUM SOFFIT	COLOUR: BLACK	
2. CEMENT FIBER SIDING	COLOUR: ARCTIC WHITE		6. WINDOW SILL	COLOUR: BLACK	
3. L.P SMART TRIM BD.	COLOUR: ONYX (BLACK)		7. LAMINATE SHINGLES	COLOUR: ONYX (BLACK)	
4. CEMENT FIBER SIDING	COLOUR: BLACK (ABYSS)				



**RIGHT ELEVATION**



**LEFT ELEVATION**



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## ZONING CALCULATION

### LANDSCAPE AREA - 'L.A.' (PER TABLE 7.2)

#### BERK COURT 3M FRONTAGE

MIN. # OF TREE'S W/ IN 'L.A.': 16.5 m = MIN. (1) TREES

MIN. GROWING MEDIUM AREA: 40 SQM TOTAL, 3 SQM PERMEABLE PAVING  
37 SQM TURF AND PLANTING = 93% SOFTSCAPE

MIN. SETBACK FROM STRUCTURE: LARGE TREE 3.0m & MEDIUM TREES 2.2m

MIN. GROWING MEDIUM PER TREE: (1) LARGE TREES 15 cu.m. per tree (2) MEDIUM TREES 12 cu.m. per tree

\*DRIVEWAY NOT INCLUDED IN CALCULATIONS\*

## PLANTING SCHEDULE

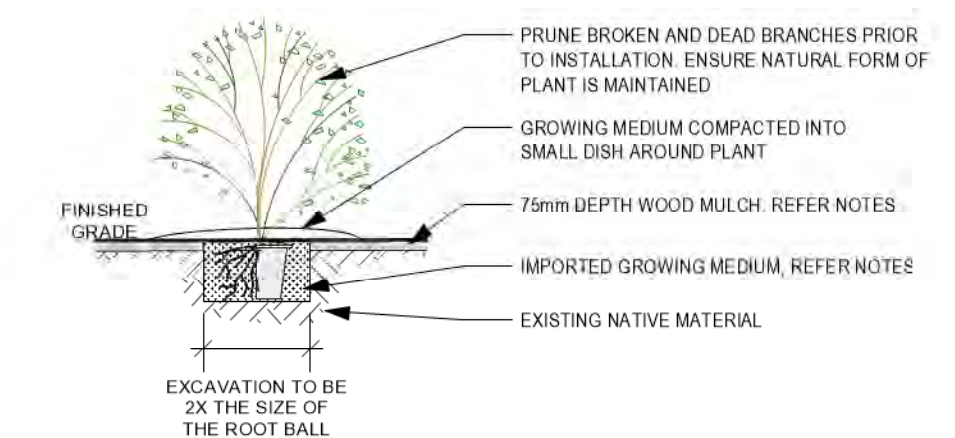
Botanical Name	Common Name	Qty	Notes
<b>Trees</b>			
Acer saccharum	Sugar Maple	3	50cm cal.
Halesia carolina	Carolina silverbell	2	40cm cal.
<b>Shrubs, Perennials &amp; Ornamental Grasses</b>			
Buxus x 'Green Gem'	Green Gem Boxwood	20	1G CONT.
Calamagrostis x acu. 'Avalanche'	Avalanche Feather Reed Grass	28	1G CONT.
Hydrangea arbor. 'Annabelle'	Annabelle Hydrangea	14	1G CONT.
Molinia caerulea 'Moorhexe'	Moor Grass	20	1G CONT.
Salvia nem. 'Caradonna'	Caradonna Salvia	28	1G CONT.
Syringa vulgaris 'Charles Joy'	Charles Joy Lilac	10	1G CONT.

## NOTES

- LANDSCAPE STANDARD**  
WORK OF THE CONTRACTOR SHALL MEET OR EXCEED ALL SPECIFICATIONS AND STANDARDS ESTABLISHED IN THE LATEST VERSION OF SECTION 7 IN CITY OF KELOWNA BYLAW 12375 AND THE CANADIAN LANDSCAPE STANDARD (JOINTLY PUBLISHED BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) AND THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA)).
- INSPECTIONS**  
THE CONTRACTOR SHALL GIVE THE SITE INSPECTOR 48 HOURS NOTICE BEFORE ALL REQUIRED INSPECTIONS.
- WOOD MULCH**  
THE CONTRACTOR SHALL SUPPLY AND PLACE DOUGLAS RED FIR MULCH, AT 75MM DEPTH (MIN.) TO THE BASE OF EACH OF THE INSTALLED PLANTS & ANY TREES IN TURF TO HAVE A MINIMUM 2M DIAM. RING OF WOOD MULCH AS SHOWN ON THE DRAWINGS. NO PLASTIC FILM OR WEED BARRIER FABRIC IS PERMITTED UNLESS OTHERWISE SPECIFIED ON THE DRAWING OR THE OWNER. CONTRACTOR TO CONFIRM THE WOOD MULCH SUPPLIED IS FREE OF ANY FOREIGN CHUNKS, STICKS, SOILS, STONES, CHEMICALS, SALT AND ROOTS, AND IS NON-MATTING.
- ROCK MULCH**  
ALL LANDSCAPE BEDS ALONG THE BASE OF THE BUILDING TO RECEIVE 75MM DEPTH OF DECORATIVE ROCK MULCH W/ WEED BARRIER FABRIC INSTALLED BELOW.
- GROWING MEDIUM**  
IMPORT GROWING MEDIUM SHALL BE PLACED AT 300MM DEPTH IN ALL PLANTING AREAS AND 150MM DEPTH IN ALL TURF AREAS, AS SHOWN IN THE DRAWINGS (TREE PIT VOLUME BASED ON ZONING CALCULATION TABLE). GROWING MEDIUM IS TO MEET PROPERTIES OF TYPE 2P FOR PLANTING AREAS AND TREE PITS AND TYPE 2L FOR TURF AREAS, AS PER TABLE T-6.3.5.3 IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD. VOLUME FOR TREES BASED ON ZONING CALCULATIONS.
- DESIGN INTENT**  
THESE DRAWINGS ARE A REPRESENTATION OF THE GENERAL DESIGN INTENT TO BE IMPLEMENTED ON THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING A LANDSCAPE ARCHITECT IF ANY ADDITIONAL CLARIFICATION OR DETAILS ARE NECESSARY TO ACCOMMODATE SITE CONDITIONS OR ARCHITECTURAL DETAILS.
- PLANT MATERIAL**  
ALL PLANT MATERIAL SUPPLIED AND PLACED BY THE CONTRACTOR MUST BE CERTIFIED TO BE FREE OF SUDEN OAK DEATH (PHYTOPHTHORA RAMORUM), ACCORDING TO BC/LNA OR CANADIAN FOOD INSPECTION AGENCY (CFIA) STANDARDS. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SUPPLY AND PLACEMENT OF DISEASED PLANTS RESULTING FROM THEIR NEGLIGENCE TO THE OWNER, AT SOURCE OF SUPPLY. PLANT MATERIAL AND PRODUCTS SHALL BE AVAILABLE FOR OPTIONAL INSPECTION BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL PROVIDE A (3) YEAR REPLACEMENT GUARANTEE ON ALL PLANT MATERIAL FROM THE DATE OF SUBSTANTIAL PERFORMANCE. 80% SURVIVAL RATE IS REQUIRED FOR BOND TO BE RETURNED TO CLIENT.
- SUBSTITUTIONS**  
THE CONTRACTOR SHALL NOT SUBSTITUTE PLANT MATERIAL OR PRODUCTS WITHOUT THE WRITTEN CONSENT OF THE CLIENT AND WILL BE HELD RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ANY UNAPPROVED SUBSTITUTIONS.
- COMPOSITE BASE SHEET**  
THE PROPOSED IMPROVEMENTS DISPLAYED ON THESE DRAWINGS ARE SUPERIMPOSED ON THE BASE SHEET. THIS BASE SHEET IS COMPILED FROM ARCHITECTURAL AND/OR ENGINEERING DOCUMENTS, THE TOPOGRAPHIC SURVEY, AND OTHER DATA MADE AVAILABLE TO THE DESIGNER. THE DESIGNER SHALL NOT BE HELD LIABLE FOR INACCURACIES, OMISSIONS, CHANGES, OR OTHER ERRORS ON THESE DOCUMENTS. THE COMPOSITE BASE SHEET IS PROVIDED ONLY AS AN AID AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THESE DOCUMENTS AND INCORPORATING/INTEGRATING ALL CONSTRUCTION AS REQUIRED TO ACCOMMODATE SAME.
- CONTRACTORS' JOB SITE CONDITIONS**  
CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR SITE CONDITIONS DURING CONSTRUCTION, THIS INCLUDES: SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT. CONTRACTOR TO REFER ENVIRONMENTAL PROFESSIONALS REQUIREMENTS FOR KEEPING THE SITE WITHIN REGULATIONS.
- UTILITIES**  
THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THE LOCATIONS OF THEIR UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. MOST UTILITY COMPANIES HAVE ACCESS TO THE UNDERGROUND SERVICE ALERT PROGRAM CALL BEFORE YOU DIG. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT SHALL NOTIFY MEMBERS 48 HOURS PRIOR TO PERFORMING EXCAVATION WORK BY CALLING THE TOLL-FREE NUMBER (800) 474-6886. EXCAVATION IS DEFINED AS BEING 18 OR MORE INCHES IN DEPTH BELOW THE EXISTING SURFACE. THE CONTRACTOR IS CAUTIONED THAT EXCAVATION IS THE ONLY WAY TO REVEAL THE TYPES, EXTENT, SIZES, LOCATION, AND DEPTHS OF UNDERGROUND UTILITIES. HOWEVER, THE CONSULTANT CAN ASSUME NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DELINEATION OF SAID UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES NOT SHOWN ON THESE DRAWINGS.
- IRRIGATION**  
PERMANENT AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED UNDER ALL SOFTSCAPE MATERIAL BY A QUALIFIED IRRIGATION PROFESSIONAL.
- GRADING & DRAINAGE**  
ALL STRUCTURES TO HAVE POSITIVE DRAINAGE AWAY FROM BUILDINGS.

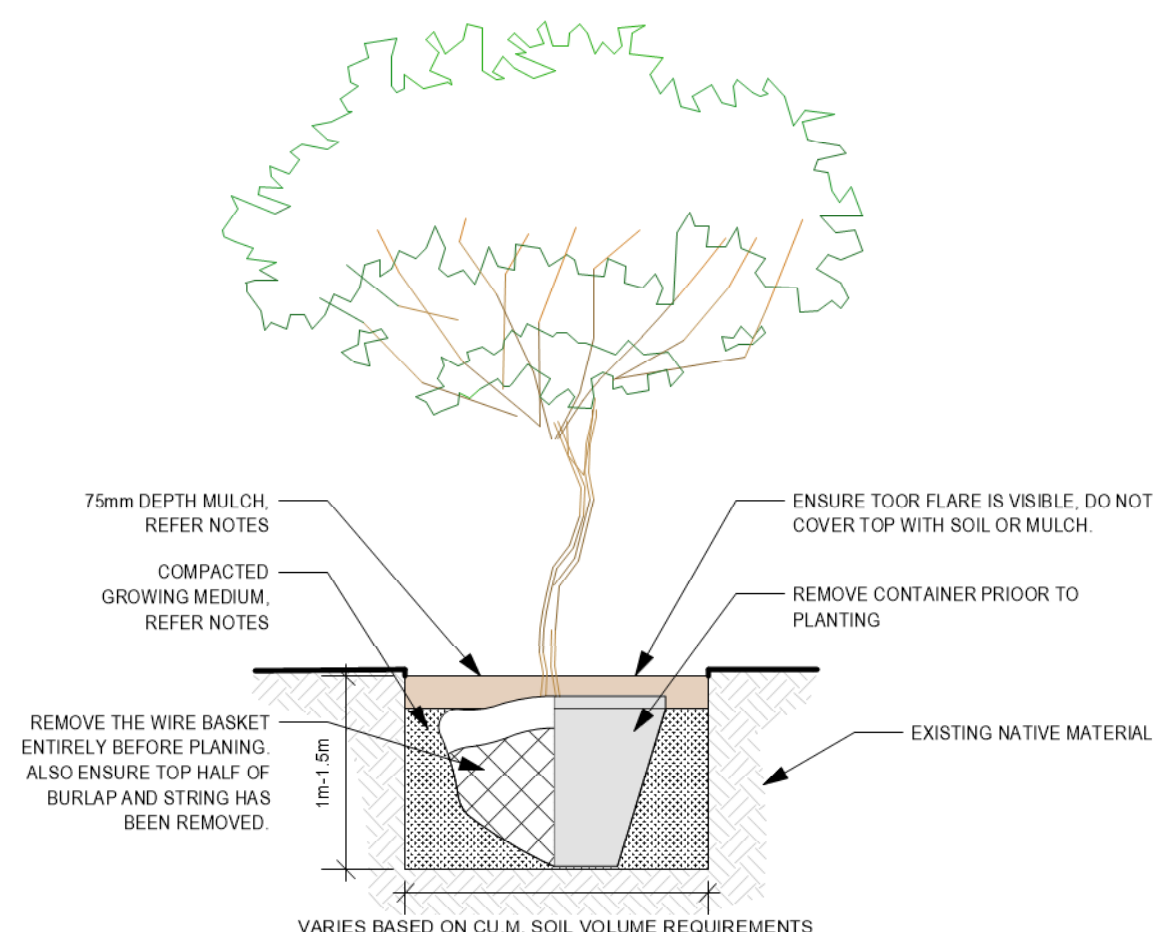
## DETAILS

**NOTE:**  
1. ENSURE ROOT BALL IS THOROUGHLY SATURATED PRIOR TO INSTALLATION  
2. WHEN SHRUB, PERENNIAL OR ORNAMENTAL GRASS IS PLANTED IN ROCK MULCH, CONTRACTOR TO INSTALL 6" DIA. RING OF WOOD MULCH TO HELP RETAIN MOISTURE.

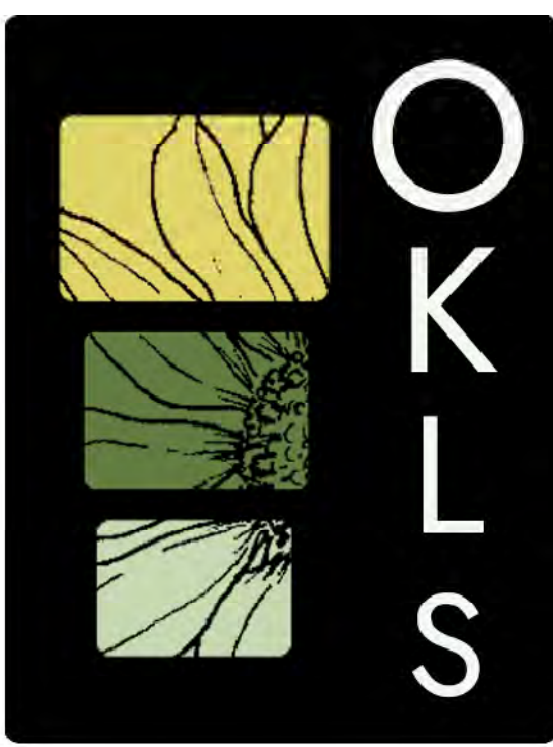


X  
LXX  
N.T.S  
**SHRUB PLANTING IN GROUND - Typical Section**

**NOTE:**  
1. TREES TO BE SUPPORTED IN PLACE USING CEDAR STAKES & POLY MESH STRAP ASSEMBLY INSTALLED PER MANUFACTURER'S SPECIFICATION. STAKES TO ONLY BE INSTALLED IN LOCATIONS OF HIGH WIND, STEEP SLOPES AND WHERE THE CALIBER OF THE TREE IS LESS THAN 5CM IN DIA.  
2. ENSURE ROOT BALL IS THOROUGHLY SATURATED PRIOR TO INSTALLATION.  
3. WHEN TREE IS PLANTING IN ROCK MULCH OR TURF AREA, CONTRACTOR TO INSTALL 1" DIA. RING OF WOOD MULCH TO HELP RETAIN MOISTURE.



X  
LXX  
N.T.S  
**TREE PLANTING IN GROUND - Typical Section**



Okanagan Landscape Studio  
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Revision Issue	DESCRIPTION	DATE	NO.
Initial Concept		09/08/24	01
Final Concept		30/10/24	02

**PROJECT**  
**MGDC DEVELOPMENT & MANAGEMENT.**  
**1414613 BC Ltd.**

**SITE ADDRESS**  
**764 Wilson Ave,**  
**Kelowna**

**SHEET TITLE**  
**CONCEPT PLAN**

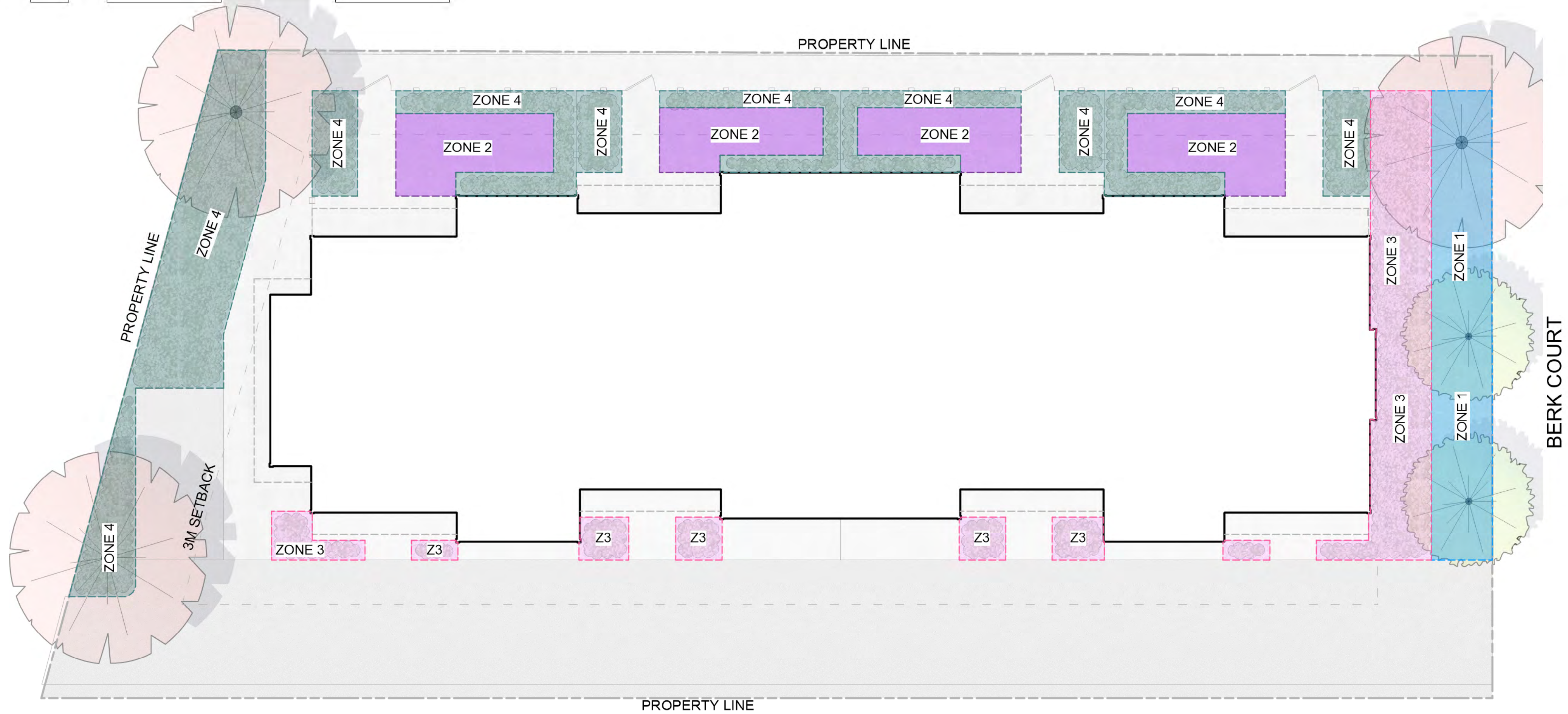
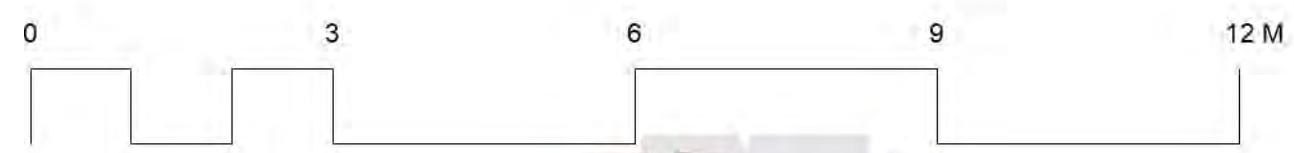
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Project Number 24-031  
Date 30/10/24

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SHEET NUMBER

L-01





## IRRIGATION NOTES

### 1. INSTALLATION PRACTICES

ALL IRRIGATION INSTALLATION PRACTICES TO MEET IIABC STANDARDS, INSTALLED BY A CIT CERTIFIED PROFESSIONAL

### 2. SYSTEM DESIGN

SYSTEM IS DESIGNED BASED ON 10 GPM & 75 PSI AVAILABLE FROM EXTERIOR STUB OUT.

### 3. GRAPHIC CLARITY

DESIGN IS SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. CONTRACTOR TO INSTALL ALL COMPONENTS IN COMMON TRENCHES WHERE FEASIBLE AND INSIDE PLANTING AREAS WHENEVER POSSIBLE

### 4. IRRIGATION SLEEVES

ALL SLEEVES TO BE INSTALLED AT THE NECESSARY DEPTHS PRIOR TO PAVEMENT CONSTRUCTION AND EXTEND 300mm INTO LAWN OR PLANTING AREA

## WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 97 CU.M./YEAR

ESTIMATED LANDSCAPE WATER USE (WU) = 87 CU.M. / YEAR

WATER BALANCE = 10 CU.M. / YEAR

\*SEE ATTACHED IRRIGATION APPLICATION FOR CALCULATION BREAKDOWNS

## ZONE LEGEND



**ZONE #1** : LOW VOLUME POP-UP SPRAY HEADS FOR WATERED MOWN LAWN AREAS.  
TOTAL AREA: 20 SQM.  
MICROCLIMATE: NORTH FACING TURF AREA WITH MODERATE TREE COVERAGE  
ESTIMATED WU: 23 CU.M.



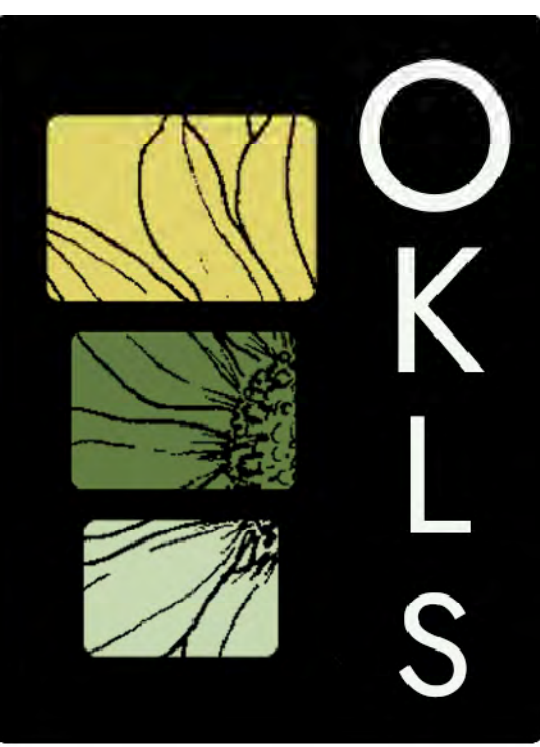
**ZONE #2** : LOW VOLUME POP-UP SPRAY HEADS FOR WATERED MOWN LAWN AREAS.  
TOTAL AREA: 27 SQM.  
MICROCLIMATE: SOUTH FACING TURF AREA WITH MODERATE TREE COVERAGE  
ESTIMATED WU: 31 CU.M.



**ZONE #3** : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS  
TOTAL AREA: 29 SQM.  
MICROCLIMATE: EAST FACING PLANTING AREA WITH MODERATE COVERAGE FROM FENCE  
ESTIMATED WU: 13 CU.M.



**ZONE #4** : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS  
TOTAL AREA: 45 SQM.  
MICROCLIMATE: WEST FACING PLANTING AREA WITH MODERATE COVERAGE FROM FENCE  
ESTIMATED WU: 20 CU.M.



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**MGDC DEVELOPMENT & MANAGEMENT.**  
1414613 BC Ltd.

SITE ADDRESS  
**764 Wilson Ave,**  
Kelowan

SHEET TITLE  
**IRRIGATION LAYOUT PLAN**

Design by SP  
Project Number 24-031  
Date 30/10/24

N  
SCALE 1:75  
PAGE 24"x36"

SHEET NUMBER  
**L-02**





November 5, 2024

City of Kelowna  
**Urban Planning Department**  
1435 Water Street, Kelowna BC  
V1Y 1J4

Development Permit Application for RU1 – Large Lot Housing at 652 Berk Court, Kelowna BC

## Introduction

Dear Planning Staff,

The purpose of this application is to secure a Form and Character Development Permit for the proposed four-dwelling housing project at 652 Berk Court. The goal for this site is to create a project which is safe, livable, accessible, and establishes a sense of community for all new and existing residents of the neighbourhood. Along with recent Subdivision applications at various properties in the neighbourhood, the proposed four-dwelling project is anticipated to set a positive tone for infill housing in the community. The subject property is currently bare land with no existing dwellings.

## Official Community Plan Objectives

In addition to many of the specific form and character guidelines from Sections 3.3.1 – 3.3.6, the project meets the following “Key Guidelines” for townhouse and infill projects in the 2040 OCP:

*3.2.1 a - Configure building massing to reflect the general scale of buildings in the surrounding area (see 3.3.2).*

Although the proposed building has utilized the maximum of 3 storeys, the third storey is 70% of the storey below. Both neighbouring properties to the north are 2 storeys. Features such as peaked roofs, square windows, and entry at-grade is provided to align with design and scale themes in the neighbourhood.

*3.2.1 b - For each unit, provide well-designed, generous outdoor amenity spaces at grade that offer privacy and screening, as well as attractive interfaces with the street and open spaces (see 3.3.1).*

*3.2.1 d - Limit impermeable surfaces in landscaped areas and open spaces to maximize stormwater infiltration.*



*3.2.1 e - Use building articulation, scaling, and setbacks to define individual units in a way that is clearly oriented to pedestrians rather than to vehicles and that emphasizes connection to the street (see 3.3.1).*

*3.2.1 f - Orient building entries, windows, patios and balconies to face the fronting and flanking streets, with primary entries clearly visible and directly accessible from the sidewalk see (3.3.1).*

*3.2.1 g - Building design elements, details and materials should create a well-proportioned and cohesive building design and exhibit an overall architectural concept (see 3.3.6).*

In addition, this proposal conforms to the 2040 OCP – Future Land Use guidance of Suburban Residential, as ground-oriented residential is a supported use. The following pillars are met:

1. Stop planning new suburban neighbourhoods.  
Creating sensitive infill within existing neighbourhoods reduces the desire for new suburban neighbourhoods to be planned. In turn, density is focused in areas with existing utilities and nearby transit, walking, and biking options.
2. Promote more housing diversity.  
Infill housing allows for diverse housing options within Kelowna's suburban areas. Many tenants or property owners are searching for "missing middle" housing which provides appropriate parking, ground-oriented outdoor space, and multiple bedrooms for growing families.
3. Protect and restore our environment.  
To enhance the site, the landscape plan proposes that 5 trees will be planted in landscape areas, which will significantly improve soil and water consumption, carbon storage, provide shade, and improve air quality on the site. In addition to trees; an abundance of turf, rock mulch, and ornamental plantings will be distributed around the site.
4. Prioritize sustainable transportation and shared mobility.  
The subject property is located 175.0m from Gordon Drive which contains a bicycle network. In addition, Gordon Drive is a BC Transit bus route; therefore, residents of the subject property have the opportunity to access public transit or a bike lane within a short distance of their doorstep.

## Site Layout

As shown on the attached drawing set, the proposed building contains 4 dwelling units in total. The building is 3 storeys with a height of 9.439m to the mid-point of the roof. The proposal conforms to all setbacks and regulations under the RU1 – Large Lot Housing zone, and parking for vehicles is located in a private garage for each unit. Parking requirements are met as part of this application with 1 parking stall per unit. Four 360L carts are provided on the west side of unit 4 with appropriate screening to blend with the building façade. 2 carts will contain garbage, and 2 carts will contain recycling. It is anticipated that this location is out-of-sight from the public eye, yet



accessible for tenants to roll the carts to the street on garbage day. A permeable pathway allows all tenants to access the street frontage from their rear yard. In addition, emergency services can easily access all 4 units from Berk Court.

The development group for the subject property are also involved in the subdivision directly south at 654 Buck Road. To improve site layout and function for all parcels involved, a shared laneway is provided at a width of 6.5m. The laneway encompasses a width of 3.25m on each parcel. An Access Easement will be registered at the time of Building Permit.

Fortis has issued an electrical plan which shows an underground service to the subject property. A transformer will be installed at 654 Buck Road, south of the subject property.

### Design Details and Neighbourhood

The form and character of the proposed building has been designed with a traditional façade, which incorporates quality materials and building articulation to create architectural interest in the neighbourhood. The proposed main exterior of the building will be finished with several materials such as horizontal cement-fibre siding, board and batten, smart trim board, and laminate shingles. Each façade will contain projections which add value to the shape of each unit. Colours include; arctic white / abyss (black) siding, onyx (black) smart trim board, and onyx (black) board and batten. All soffits, roof shingles, and window frames will be finished in black. Front doors and garage doors will be coloured white to contrast the door frames and board and batten.



Figure 1 – Proposed building adjacent to Berk Court.

Suburban areas such as the Berk Court neighbourhood were recently zoned to allow for infill development. The design of the proposed building aims to create a diversity of residential concepts while keeping existing features found in the neighbourhood such as peaked roofs, square windows, garage parking at-grade, and front door entry at-grade. The privacy of neighbouring properties was carefully considered during the design stage. For example, the north setback has been increased to 2.965m at its closest point (3.6m in most areas) to allow private yards for each unit and additional



separation from the neighbouring property. Although windows are provided on the north elevation, the neighbouring dwelling to the north does not have windows on their south elevation, which reduces any privacy concerns. The existing fence and mature tree add additional privacy. Similarly, the proposed building as part of this application does not contain windows on the west elevation to respect the privacy of the neighbouring property to the west. 2 large trees are provided at the rear lot line and the setback has been increased to 3.737m at its closest point.

To compliment the external building finish of black and white, 3 trees are proposed within the front landscape area, including 1 large-sized sugar maple and 2 medium-sized carolina silverbell trees. The red and green colour combination of the proposed trees, ornamental plantings, and turf will appear very attractive against the black and white background of the proposed units, without overwhelming the site due to an abundance of colour. Windows are provided along the left and upper portions of the front façade, with respect to the proposed trees encompassing the majority of this building face.

### **Landscaping and Private Amenity Space**

The site is designed with a variety of trees, ornamental plantings, rock mulch, and turf. 5 trees will be planted to meet landscape area regulations and to improve environmental, social, and visual conditions on the site. The existing tree at the southwest corner will be removed and replaced by the large maple tree in a slightly different location as shown on the landscape plan.

All units have private amenity space which is integrated in the form of at-grade turf and planting areas. The road frontage has been sensitively designed to transition from public space to private space with the use of landscaping. Decorative ornamental plantings, trees, and turf will soften the transition from the City boulevard to private property. All pathways will be permeable to assist on-site drainage during weather events.

### **Restrictive Covenant**

In 1969, a Building Scheme was registered as a Restrictive Covenant on title for the property which previously existed at this location (Lot 14, Plan 18928). The Covenant is registered between the Builder and the Landowner at the time. The City of Kelowna is not listed as a charge holder. In 2010, Lot 14 was subdivided to become Lots 1 and 2, Plan EPP5534. The Covenant is to be handled concurrently to the Development Permit process via our legal team.

### **Target Focus**

The topic of infill housing has been at the forefront of discussion in recent months. Provincial mandates to increase housing density have been used as an attempt to combat the housing crisis in BC, using infill housing as a tool. As a result, local governments across BC have improved Zoning Bylaws to allow for flexible building designs in areas originally constructed as single-detached housing. Single family homes on large lots are becoming less desirable due to the maintenance, repair costs, and purchase price. Although the focus of multi-unit buildings are often catered towards the younger generation and young families, the proposed infill project will also provide a



housing option for all ages to enjoy if desired; such as middle-aged couples or families, students, or retirees.

## Conclusion

The intention of this proposal is to create infill development in an area of Kelowna which is very walkable, bikeable, and has access to nearby amenities. Okanagan Mission Secondary, Anne McClymont Elementary, and Bellevue Creek Elementary are located within 1.0km. The South Gordon Village Centre provides opportunities for grocery, pharmacy, and other commercial needs. This newly developed Village Centre eliminates the obligation for Okanagan Mission residents to travel to Pandosy Village or Downtown. This proposal is anticipated to provide missing-middle housing at a time where the local housing market has been identified as unaffordable and short of supply. The design will blend into the existing form of the neighbourhood, while adding new housing stock with additional colours, features, and landscaping. We look forward to hearing your comments and feedback on the project.

Regards,

Jack Pawsey – Planner  
Urban Options Planning Corp.  
Authorized Signatory; Birte Decloux, RPP MCIP





## ZONING ANALYSIS TABLE

**ADDRESS:** 652 Berk Ct.

**ZONE:** RU1 – Large Lot Housing

**PROPOSAL:** Development Permit Application for the form and character of a 4-unit infill housing project.

SITE CONTEXT	PROPOSAL
Future Land Use (2040 OCP)	Suburban Residential
Transit Supportive Corridor	No
Subdivision or Consolidation Required	N/A
Adjacent Land Uses	N: Single-Detached Housing S: Single-Detached Housing (2-Lot Subdivision in process) W: Single-Detached Housing E: Single-Detached Housing
Uses	Principal: Townhouses Secondary: N/A

DEVELOPMENT REGULATIONS	RU1 ZONE	PROPOSAL
<b>SITE DETAILS</b>		
Lot Area	450.0m <sup>2</sup>	588.46m <sup>2</sup>
Site Width	16.5m or 15.0m with lane or strata road	16.455m
Site Depth	30.0m	35.713m
Minimum Building Envelope Area	150.0m <sup>2</sup>	364.13m <sup>2</sup>
<b>BUILDING DETAILS</b>		
Site Coverage of Buildings	40% or 55% for 3-or-more units	230.40m <sup>2</sup> (39.15%)
Site Coverage of Buildings, Structures, & Impermeable Surfaces	70% or 75% for 3-or-more units	<b>Buildings:</b> 230.40m <sup>2</sup> <b>Hardscape (laneway, driveways, parking):</b> 140.56m <sup>2</sup> <b>Total:</b> 370.96m <sup>2</sup> (63.04%)
Unit Density	4 dwelling units per lot	4 dwelling units provided
Unit Density when Not Connected to Community Water or Sewer	1 dwelling unit per 1,000m <sup>2</sup>	N/A
Private Open Space	No minimum requirement	<b>Units 1 &amp; 4:</b> 23.34m <sup>2</sup> yard space <b>Units 2 &amp; 3:</b> 19.14m <sup>2</sup> yard space



DEVELOPMENT REGULATIONS	RU1 ZONE	PROPOSAL
Maximum Gross Floor Area of a 3 <sup>rd</sup> storey relative to the 2 <sup>nd</sup> storey (this does not apply to dwellings with walkout basements)	70% maximum	<b>All Units:</b> Third storey = 69.69% of second storey
<b>BUILDING DETAILS</b>		
Building Height	11.0m or 3 storeys	9.439m
Walkout Basement Height – Front or Flaking Yard	9.0m	N/A
Walkout Basement Height – Rear Yard	12.5m	N/A
Height – Accessory Building or Structure	4.8m	N/A
Maximum Building Footprint per Accessory Building or Structure	90.0m <sup>2</sup>	N/A
Water Meter Room	1 required	Meter room provided – west building elevation
Waste Bin Screening	Screening required	Screening provided – west building elevation
Minimum Cart Aisle Width	0.6m	1.1m
<b>SETBACKS</b>		
Front Yard	3.0m or 6.0m for garages facing the street (from back-of-curb or edge of road pavement, or edge of sidewalk)	3.227m
Rear Yard	3.0m or 1.5m from a lane	3.777m
Rear Yard for Accessory Structures	1.5m or 0.9m from a lane	N/A
Side Yards	1.8m	N: 3.11m S: 3.762m
Side Yards for Accessory Structures or Carriage House	1.5m	N/A
Distance Between Detached Principal Buildings	2.5m	N/A
<b>PARKING</b>		
Four-or-Less Dwelling Units Outside of the Core Area	Minimum 1.25 stalls and maximum 2.0 stalls per 3-or-more bedroom unit	5 stalls provided
Visitor Parking	Required for 5-or-more dwelling units	N/A
Parking Stall Dimensions	Regular-sized stalls – 2.5m x 6.0m plus obstructions (if any)	4 Stalls: Regular-sized stalls with no obstructions
Bicycle Parking – Short Term (5 dwelling units or more)	4 stalls or 1 per 5 units (whichever is greater)	N/A



DEVELOPMENT REGULATIONS	RU1 ZONE	PROPOSAL
PARKING		
Bicycle Parking – Long Term (if unit does not contain a garage)	0.75 stalls per bachelor, 1-bedroom, or 2-bedroom dwelling units 1.0 per 3-bedroom or more dwelling units	Garages provided
EV Chargers	Level 2 charging required	Level 2 charging provided per unit

LANDSCAPE REGULATIONS	ZBL 12375 – TABLE 7.2	PROPOSAL																
LANDSCAPE DETAILS																		
Minimum Number of Trees within Landscape Area	1 tree per 10 linear meters	16.455 linear meters: 3 trees provided																
Minimum Growing Medium Area	75% soil-based landscaping groundcover in landscape areas <ul style="list-style-type: none"> <li>There is no minimum growing medium area required in front yard or flanking yard landscape area if soil cells are installed to accommodate the minimum on site trees within the front yard or flanking yard landscape area.</li> </ul>	93% soil-based landscape																
Tree Setbacks from Buildings, Raised Patios, and Balconies	<b>Large:</b> 3.0m radius from centre of tree up to the second storey of the building <b>Medium:</b> 2.0m radius from centre of tree up to the second storey of the building <b>Small:</b> 1.0m radius from centre of tree up to the second storey of the building	<b>Large Tree:</b> 3.0m <b>Medium Trees:</b> 2.2m																
Minimum Deciduous Tree Planting Stock Caliper	<b>Large:</b> 5.0cm <b>Medium:</b> 4.0cm <b>Small:</b> 3.0cm	See landscape plan																
Minimum Coniferous Tree Planting Stock Height	250.0cm	See landscape plan																
Minimum Ratio between Tree Size On-Site	<b>Large:</b> Min 50% <b>Medium:</b> No min or max <b>Small:</b> Max 25%	<b>Large:</b> 60% <b>Medium:</b> 40% <b>Small:</b> 0%																
Minimum Growing Medium Volumes per Tree	<table border="1"> <thead> <tr> <th></th> <th>Single Tree</th> <th>Pair</th> <th>Shared</th> </tr> </thead> <tbody> <tr> <td>Large Tree</td> <td>30 m<sup>3</sup></td> <td>20 m<sup>3</sup></td> <td>15 m<sup>3</sup></td> </tr> <tr> <td>Medium Tree</td> <td>20 m<sup>3</sup></td> <td>15 m<sup>3</sup></td> <td>12 m<sup>3</sup></td> </tr> <tr> <td>Small Tree</td> <td>15 m<sup>3</sup></td> <td>12 m<sup>3</sup></td> <td>10 m<sup>3</sup></td> </tr> </tbody> </table>		Single Tree	Pair	Shared	Large Tree	30 m <sup>3</sup>	20 m <sup>3</sup>	15 m <sup>3</sup>	Medium Tree	20 m <sup>3</sup>	15 m <sup>3</sup>	12 m <sup>3</sup>	Small Tree	15 m <sup>3</sup>	12 m <sup>3</sup>	10 m <sup>3</sup>	See landscape plan
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JP Oct. 30, 2024